

**Response to Pre-Bid queries for RFP for selection of private partner to develop infrastructure at IIM
Udaipur on PPP mode**

Sr. No.	Organization	Query	Response
1	KCC Infra Pvt Ltd	There is no mention of minimum criteria of the technical qualification for the lead member. So, please clarify that is there any criteria for the lead member of joint venture	Please refer Clause 2.2.2 (note b) of RFP
2	KCC Infra Pvt Ltd	<u>Technical Eligibility Criteria</u> We suggest including Category 3 and Category 4 (core infrastructure projects) in the technical eligibility criteria. This would enable broader participation from experienced infrastructure developers and potentially result in more competitive pricing for the Authority.	Please refer the Corrigendum 1
3	KCC Infra Pvt Ltd	<u>Early Completion Incentives</u> Could you please clarify if there are any bonus provisions for early completion of project milestones?	Please refer Corrigendum 1 for commercial operation of project milestone
4	KCC Infra Pvt Ltd	<u>Mid-Academic Year Completion & Revenue</u> In case of milestone completion between academic years, we would like to understand the mechanism for user charges during such interim periods. What compensation provisions exist for such scenarios?	Please refer Corrigendum 1 for commercial operation of project milestone
5	KCC Infra Pvt Ltd	<u>Escalation Timeline Clarification</u> Please clarify whether the 8% escalation will be calculated from the second financial year	8% escalation once in 2 years post 1 st year of COD i.e. first escalation will be on 3 rd year post COD

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		or two years from COD, as these could represent different timeframes.	
6	KCC Infra Pvt Ltd	<u>Occupancy Shortfall Payments</u> We request clarification on whether shortfall payments will include interest component, considering it represents revenue loss for the concessionaire.	Please refer Corrigendum 1
7	KCC Infra Pvt Ltd	<u>Licensing Requirements</u> Could you provide a tentative list of licenses required from local bodies for this project?	The indicative list of the licenses/approvals required from the local bodies/statutory bodies for the project are. Please note this list is only indicative and Concessionaire shall have to obtain and comply with all applicable regulations and licensing requirements for the Project : <ol style="list-style-type: none"> 1. Construction approval- Udaipur Development Authority (UDA) 2. Completion and occupancy certificate- UDA 3. Fire NOC- Municipal corporation, Udaipur 4. Energization of Substation/DG set-Electrical Inspector, Govt of Rajasthan 5. Lift Installation NOC 6. Consent to establish and operate- RSPCB 7. Labour registration & Licenses.
8	KCC Infra Pvt Ltd	<u>SPV Formation Timeline</u> We request clarity on the timeline requirements for SPV formation as the contract will be executed by the SPV.	SPV shall be formed by preferred bidder post issue of letter of award and prior to signing of Concession Agreement.
9	KCC Infra Pvt Ltd	<u>Simultaneous Milestone Completion</u> If all three milestones are completed together within 18 months, would user charges be applicable for all facilities (particularly the	Please refer Corrigendum 1 for commercial operation of project milestone

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		last regular student block) immediately upon completion?	
10	KCC Infra Pvt Ltd	<u>Additional Facilities</u> We would like to understand: - If we can construct servant quarters for service personnel - The possibility of including additional revenue-generating facilities like pickle ball courts or vending machines, with revenue sharing with IIM Udaipur	-No servant quarters shall be constructed. No service staff are permitted to stay on the campus. -No additional revenue generating facilities will be allowed within the project facilities
11	KCC Infra Pvt Ltd	<u>Site Investigation Data</u> We request if you could please provide: - Topographical survey data - Soil investigation report for the project site These would help us better understand the site conditions and plan accordingly.	The contour map and the soil investigation report of the site available with IIMU are attached as Annexure-1 & 2, the same are indicative in nature. However, the Concessionaire shall have to conduct the study at their own discretion to plan the Project Facilities accordingly.
12	KCC Infra Pvt Ltd	<u>Escrow Account Mechanism</u> We would like to suggest that the Authority maintain one instalment as drawdown in the escrow account. This would provide additional comfort to lenders and potentially help in achieving better financing terms for the project.	No change. RFP conditions shall prevail
13	Hooliv	Kindly share the soil test report, topography, detailed survey diagrams with markings of the locations.	The contour map and the soil investigation report of the site available with IIMU are attached as Annexure-1 & 2, the same are indicative in nature. However, the Concessionaire

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			shall have to conduct the study at their own discretion to plan the Project Facilities accordingly.
14	Hooliv	Kindly share the designs (plan and elevation) of the latest existing hostels, in order for us to ensure coherence in design for the PG hostel complex.	Attached as Annexure 3 for reference purpose
15	Hooliv	Kindly share a tentative list of the approvals required to be taken by the concessionaire for the project planning and execution.	Please refer response to query no. 7 above
16	Hooliv	What will be the payment cycle for user charges disbursement to the concessionaire for all the three hostel complexes (schedule of payments) in both the modes of payments (direct payment by students and payments by the authority). According to our understanding the concessionaire will raise 3 equitable invoices, each for a period of 4 months for all the 3 hostels. Is this understanding correct? If not please elaborate on the invoicing schedule.	Please refer Corrigendum 1
17	Hooliv	Kindly detail the mechanism for occupancy calculation for the executive hostel and the compensation schedule in case of lower than threshold occupancy. Our suggestion is that occupancy rationalization and associated compensation should be in line with the billing cycle of user charges i.e. in 3 equitable invoices.	Please refer Corrigendum 1

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18	Hooliv	When will the occupancy guarantee kick in, if the project is completed before timeline?	Please refer Corrigendum 1
19	Hooliv	How will any vandalism/intentional damage of property be defined and dealt with by the authorities in commercial terms, as the maintenance responsibilities lie on the O&M partner? Who will compensate for such damages and in what manner?	IIMU collects a caution deposit from students towards this. Any vandalism/intentional damage of property by students will be recovered from this caution deposit. The same recovered amount will be provided to Concessionaire in such event. <i>However, deciding such instance as “vandalism/intentional damage of property” and deciding the compensation amount is on the sole discretion of Project Monitoring Committee and shall be treated as final and binding on Concessionaire.</i> Please refer Corrigendum 1
20	Hooliv	Is the provision of Value-Added Services available for the operators if they wish to pursue that? (example: a paid laundry service over and above the provision of washing machines in the washing area)	No Value - Added Services with additional user charge will be allowed
21	Hooliv	How will the responsibility of maintenance of kitchen equipment and fixtures provided by the concessionaire be assigned, since those will be under the operation of a third- party contractor whose upkeep standards are not under concessionaire's control.	The Concessionaire shall replace the kitchen equipment listed under sub-clause (d) of Schedule C Once in 6 years. In case any kitchen equipment require replacement prior to 6 years, the same shall be replaced by Authority. Please refer Corrigendum 1
22	Hooliv	Will the concessionaire be allowed to construct accommodation for the O&M staff in the premises for efficient operations?	No service staff are permitted to stay on the campus.
23	Hooliv	Request you to consider extending the bid submission deadlines by 30 days in order for	Please refer Corrigendum 1

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		us to effectively meet all the parameters of the bidding process	
24	Curated Living Solutions	If construction is complete post commencement of academic year and completion certificate is issued, will the concessionaire be eligible for occupancy shortfall immediately post receipt of completion certificate?	Please refer Corrigendum 1
25	Curated Living Solutions	How will the occupancy of the executive rooms be tracked. In a scenario where the occupancy is higher than 90%, how will the concessionaire claim the excess occupancy?	Please refer Corrigendum 1
26	Curated Living Solutions	On fees paid directly by IIM Udaipur (i.e. in case of married hostel, executive housing and shortfall in occupancy of student hostels) who will bear the GST? Will IIM Udaipur pay GST amount over and above the committed fees?	As per Clause 24.1.1 of draft Concession Agreement, the User Charge amount mentioned, is exclusive of GST as applicable. Any GST amount (if applicable) will be payable by Authority over and above the said User Charge amount
27	Curated Living Solutions	In relation to the Kitchen, while all the equipment and upfront investment will be done by the concessionaire, who will bear the responsibility of repairs and maintenance and any additional capex expenditure in the future (considering food operations are run by IIM Udaipur)	Please refer response to query no. 21 above

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28	Curated Living Solutions	If the concessionaire requires that its staff (some that require late working hours) stay in the hostel, can the concessionaire build additional capacity and accommodate them?	Please refer response to query no. 22 above
29	Curated Living Solutions	If the concessionaire is a fund – typically funds don't have the concept of net worth, then how will net-worth be calculated?	Please refer the Corrigendum 1
30	Curated Living Solutions	Will the bid submission date be extended?	Please refer Corrigendum 1
31	Curated Living Solutions Pvt Ltd	Request clarification regarding Duration of stay, i.e. number of months in a year (for students, PhD, & Exec)	Students are enrolled for 2 years residential course PhD students are enrolled for 5 years residential course
32	Curated Living Solutions Pvt Ltd	Can we collect refundable security deposit / caution deposit from the students to recover any damages done by the student during their stay?	Please refer response to query no. 19 above
33	Curated Living Solutions Pvt Ltd	Ref 5.12.1 of the DCA w.r.t to Branding, please clarify if we can mention this collaboration on our website and other information memorandums	The Concessionaire can be allowed to do this subject to provisions under Clause 5.12.1 of draft Concession Agreement
34	Curated Living Solutions Pvt Ltd	What is the procedure to coordinate a site visit before the bid?	Bidders are allowed to visit the site prior to submission of bids. The contact person details are provided in the RFP
35	Curated Living Solutions Pvt Ltd	Is Security in Authority scope or Concessionaire scope after COD? Does this mean manpower & CCTV as well as fire & safety?	Security & safety within project facilities is the responsibility of Concessionaire. Please refer Article 20 and Schedule F of the draft Concession Agreement
36	Curated Living Solutions Pvt Ltd	Could we please receive the design / plan of the existing hostels Cluster 2,3,4? (In pdf & autocad)	Attached under Annexure 3 of this pre-bid response

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37	Curated Living Solutions Pvt Ltd	Revenue / hostel fees payable in June, Sep & Jan – are these payments in advance or in arrears?	Please refer Corrigendum 1
38	Curated Living Solutions Pvt Ltd	In Category 1, only housing, commercial & hotel are qualified. However, the purpose of this RFP is to build hostel facilities. In that context, a company like us who has direct experience in building and operating hostels on and off the campuses of educational institutions should be given exemption to the qualifying criteria, such as INR 20cr single PPP project and cumulative of INR 200cr in the last 5 years. We request you to qualify those companies with an experience of constructing/owning/managing on and off-campus hostel facilities of above 5000 beds cumulatively and in operations for more than 2 years.	Please refer the Corrigendum 1 on Eligible assignments Under Clause 2.2.2 (I) of the RFP, the Threshold Technical Capacity of INR 200 Cr can be a cumulative amount (multiple Eligible Projects) under either any of (a), (b), (c) or any two of (a), (b), (c) or all of (a), (b), (c).
39	Curated Living Solutions Pvt Ltd	The documents do not explicitly refer to Mortgage rights on the asset to raise construction finance for the project. Please clarify.	Please refer Clause 34.2.1 of the draft Concession Agreement
40	NIIF	For clause 2.2.2, II; Pg 11 of the RFP the provision : Financial qualification criteria “The Bidders or in case of Consortium any one member must have minimum Net worth of INR. 25 crores (Rupees Twenty Five Crore) in last financial years prior to Bid Due Date” Update requested to ensure that funds can participate:	Please refer Corrigendum 1

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		<ol style="list-style-type: none"> <li data-bbox="695 240 1184 480">1. For shortlisting of bidders with respect to 'financial capacity' (in effect a test of an applicant's ability to make investments towards the relevant project) the parameter of evaluation has been indicated as 'net worth' of the bidder / consortium. <li data-bbox="695 488 1184 1159">2. A test of 'net worth' would be relevant in case all the possible applicants would be firms / partnerships / companies. A measure of net worth is however not relevant to Alternative Investment Funds (AIFs) since most are structured as trusts and not companies; AIFs are now important investors in a variety of infrastructure projects and for AIFs their investment capacity is typically a function of Asset under Management (AUM)/Available Capital for Investment (ACI). [NIIF's infrastructure focused Fund: 'Master Fund' for instance has assets under management of over USD 2.3 Bn, and therefore has substantial capacity to invest] <li data-bbox="695 1167 1184 1408">3. Financial qualification criteria in case of PPP projects now routinely include 'net worth' or 'ACI' (in case of AIFs); as a reference – please see the financial qualification criteria in case of the Dec 2018 RFP for the airports PPP initiative (clause 2.2.2, b; page 	

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		<p>17 of the attached RFP for the Chaudhary Charan Singh International Airport).</p> <p>4. In view of this, the financial qualification criteria could be updated to allow AIFs to demonstrate their Available Capital for Investment (ACI) as an alternative to net worth.</p>	
41	NIIF	<p>Clause 3.3.8; Pg. 21 of the RFP: Subject to the provisions of Clause 2.2, the following categories of experience would qualify as Technical Capacity and eligible experience (the "Eligible Experience") in relation to eligible projects as stipulated in Clauses 3.3.10 and 3.3.11 (the "Eligible Projects"): 20</p> <p>a. Category 1: Project experience on Eligible Projects in Real estate sector that qualify under Clause 3.2.3</p> <p>b. Category 2: Construction experience on Eligible Projects in Real estate sector that qualify under Clause 3.2.4</p> <p>Update requested to ensure that infrastructure focussed investors can participate:</p> <ol style="list-style-type: none"> 1. For shortlisting of bidders with respect to 'technical capacity' the bidders are required to demonstrate experience (project or construction experience) in 'eligible projects'; as per the RFP however eligible projects are narrowly defined as real estate 	Please refer Corrigendum 1

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		<p>projects: housing, hotel and commercial complex.</p> <p>2. We would like to submit that given the nature of the student accommodation project construct, there could be good bidding interest from infrastructure focussed investors – such investors are likely to have had experience of developing complex and large projects, although not in the real estate segment.</p> <p>3. In case of PPP projects, it is standard practice to allow for experience in infrastructure projects in case of evaluation of technical experience. For reference: Please see the definition of ‘eligible projects’ in case of the Dec 2018 RFP for the airports PPP initiative (clause 3.2.2; page 32 of the attached RFP for the Chaudhary Charan Singh International Airport) – in this case experience of projects in the ‘Harmonized Master List of Infrastructure Sub-sectors issued by the Department of Economic Affairs’ are considered eligible.</p> <p>4. Alternatively, one of the common means of evaluating technical capacity with respect to ‘eligible projects’ is to assess experience both in case of the specific sector (with a higher scoring weightage) and</p>	

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		<p>experience in case of other infrastructure sectors (with lower scoring weightage); as a case in point – please see the definition of ‘eligible projects’ in case of highway projects (model RFP for highways BOT projects; clause 3.4; pg. 35; the most relevant extracts from this model RFP are included below)</p> <p>3.4.1 Subject to the provisions of Clause 2.2, the following categories of experience would qualify as Technical Capacity and eligible experience (the “Eligible Experience”) in relation to eligible projects as stipulated in Clauses 3.4.3 and 3.4.4 (the “Eligible Projects”):</p> <p>Category 1: Project experience on Eligible Projects in highways sector that qualify under Clause 3.4.3</p> <p>Category 2: Project experience on Eligible Projects in core sector that qualify under Clause 3.4.3</p> <p>Category 3: Construction experience on Eligible Projects in highways sector that qualify under Clause 3.4.4</p> <p>Category 4: Construction experience on Eligible Projects in core sector that qualify under Clause 3.4.4</p> <p>3.4.6 A Bidder’s experience shall be measured and stated in terms of a score (the “Experience Score”). The Experience Score for an Eligible Project in a given category would be the eligible payments and/or receipts specified in Clause 2.2.2 (A), divided by one crore and then multiplied by the applicable factor in Table 3.4.6 below. In case the Bidder has experience across different categories, the score for each category would be computed as above and then aggregated to arrive at its Experience Score.</p> <p>Table 3.4.6: Factors for Experience across categories</p> <table border="1" data-bbox="743 841 911 911"> <thead> <tr> <th></th> <th>Factor</th> </tr> </thead> <tbody> <tr> <td>Category 1</td> <td>1.25</td> </tr> <tr> <td>Category 2</td> <td>1.0</td> </tr> <tr> <td>Category 3</td> <td>0.75</td> </tr> <tr> <td>Category 4</td> <td>0.50</td> </tr> </tbody> </table> <p>5. Based on the above examples you would note that qualification criteria in case of PPP project developments allow for fungibility of technical experience across infrastructure sectors; this approach has been adopted for relatively more complex and larger projects like in the case of airports and highways.</p>		Factor	Category 1	1.25	Category 2	1.0	Category 3	0.75	Category 4	0.50	
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42	NIIF	<p>Clause 2.2.2, III; Pg. 11 of the RFP :</p> <p>O&M Experience: The Bidder shall, in the case of a Consortium, include a Member who shall subscribe and continue to hold at least 10% (ten per cent) of the subscribed and paid up equity of the SPV for a period of 5 (five) years from the date of commercial operation of the Project, and has either by itself or through its Associate, has experience of 5 (five) years or more in operation and maintenance of a single project of housing / hotel / commercial complex.</p> <p>O&M Contract Requirement Post-COD – The mandated five-year O&M experience requirement can be reduced to two years if the Concessionaire opts for in-house operations. A two-year period should be adequate for building the necessary expertise.</p> <p>A two-year period for holder of O&M experience shall also be consistent with the overall exit framework – where original bidders will be able to divest their stakes in the project two years post COD (Ref: RFP clause - 2.1.18, (g), (iv) & (v))</p>	<p>Clause 2.2.2 (III) of RFP remains unchanged.</p> <p>Also, as per this Clause, “In the event that the Bidder does not have such experience, it should furnish an undertaking that if selected to undertake the Project, it shall for a period of at least 5 (five) years from the date of commercial operation of the Project, enter into an agreement for entrusting its operation & maintenance (O&M) obligations to an entity having the aforesaid experience, failing which the Concession Agreement shall be liable to termination”.</p>
43	NIIF	<p>Pg. 155 of DCA, read with Note under Clause 2.2.2 of RFP:</p> <p>Note (a), under clause 2.2.2 of the RFP (page 12):</p>	<p>A Bidder may use the credentials of its Associates for the purpose of qualification under this RFP, provided however that the Bidder shall ensure that such Associate of Bidder continues to remain its Associate throughout the Concession Period.</p>

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		<p>a. A Bidder may use the credentials of its Associates for the purpose of qualification under this RFP, provided however that the Bidder shall ensure that such Associate of Bidder continues to remain its Associate throughout the Concession Period. In computing the financial and technical capability of the Bidder/Consortium, the Financial and Technical Capacity of their respective Associates shall also be considered.</p> <p>Given the overall stake exit framework (which is standard for PPP contracts), request a clarification that the effective lock in for relevant 'Associates' of the bidder is in alignment.</p>	
44	NIIF	<p>Article 24.1.2 of DCA- Pg. 93 : User Charges The annual User Charge shall be payable in three instalments in each year at the beginning of June, September and January.</p> <p>Suggestion on payment security mechanism – In the event of non-payment by regular students, there should be a fallback mechanism for the Authority to recover dues from any defaulting students. Additionally, payments from the Authority for married students and executive programs can be secured through a Letter of Credit.</p>	<p>Regarding the payment of User Charge, please refer Corrigendum 1.</p> <p>With respect to delays in payments, please refer Clause 41.4.1 of Draft Concession Agreement for interest on delayed payments</p>

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		<p>Additionally, any delays in payments, whether related to fees or grants, should attract interest on delayed payments to compensate for the financial impact on the concessionaire.</p>	
45	NIIF	<p>Article 24.1.6 of DCA Pg. 94 of DCA: The Compensation towards Occupancy Shortfall if applicable, shall be paid by Authority to the Concessionaire within 30 days of end of Accounting Year.</p> <p>Suggestion: Shortfall payments (occupancy lower than guaranteed) should also be quarterly instead of annual</p>	Please refer Corrigendum 1
46	Guptha Infraventures and Constructions Pvt. Ltd.	<p>DCA Schedule K: The authority shall endeavor that the payments to the Independent Monitoring Agency on account of fee and expenses do not exceed 3% of the Total Project Cost.</p> <p>Payments not exceeding 3% shall be borne equally by the authority and Concessionaire in accordance with provisions of this agreement and any payments in excess there of shall be borne entirely by the Authority</p>	<ol style="list-style-type: none"> 1. Project cost shall not be quoted by bidders. With respect to “Total Project Cost”, please refer the definition under draft Concession Agreement 2. Please refer Clause 21.3 and Schedule K of the draft Concession Agreement. 3. No change. DCA conditions remain unchanged

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		<ol style="list-style-type: none"> 1. Please clarify if the project refers to “estimated project cost” or “quoted cost by L1 bidder” 2. Please clarify the expenditure to be incurred during OPERATIONS towards fees and expenditure of Independent Monitoring Agency. 3. We request you to please consider the total expenditure by the authority instead of being splitting with the Concessionaire. This costing will impact our financial cash flows and it may be noted that primarily Independent Monitoring Agency is being brought on board to aid the authority and hence our request. 	
47	Guptha Infraventures and Constructions Pvt. Ltd.	<p>Total built up area of the project:</p> <ol style="list-style-type: none"> 1) Can you please suggest us the indicative total built up area which gives us a fair idea of the built-up area when we plan with our consultants 2) Are all the buildings adjacent to each other or located at various places in the campus? 3) Please share the link of CAD drawing of the site area which helps our consultants to run a feasibility 	<ol style="list-style-type: none"> 1) Bidders need to do their independent assessment of built-up area subject to compliance with Schedule B and Schedule C of the draft Concession Agreement. 2) The sites are located nearby to each other. 3) Please refer the response of query no.11 above.

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48	Guptha Infraventures and Constructions Pvt. Ltd.	<p>DCA Article 12 Clause 12.3 (12.3.1) Page 55: Construction of the Project: The 30 months from the appointed date shall be scheduled date of completion of the project</p> <p>We request that a period of 45-60 days from appointed date to be catered for finalization of the drawings by all the stakeholders and then the commencement of 30 months for the construction of the project.</p>	No change. DCA conditions remains unchanged
49	Guptha Infraventures and Constructions Pvt. Ltd.	If the project is constructed before allocated 30months and COD commences, will the authority pay the Concessionaire the revenue for the difference period?	Please refer Corrigendum 1
50	Guptha Infraventures and Constructions Pvt. Ltd.	<p>PIM C. PPP Structure: Under users who pay the User Charge –</p> <p>For student hostel (regular) –Students of regular student hostel (paid by)</p> <p>For married student hostel and executive hostel- IIM Udaipur(paid by)</p> <p>We request that IIM Udaipur sets up a mechanism for payments from regular student hostel as well, rather we taking up the liability to collect these fees from the students.</p>	Please refer Corrigendum 1

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51	Guptha Infraventures and Constructions Pvt. Ltd.	<ol style="list-style-type: none"> 1. During the maintenance period the repairs shall be handled by the Concessionaire. We would like to know how the damages to the furniture by usage of the students be handled? 2. All the kitchen equipment and requirements mentioned as per DCA (Pg 176-178) once handed over to the authority, whose responsibility is it during the operations stage as F&B is not being handled by the Concessionaire. 3. During the operations and maintenance period if there exists a situation where the project has to be painted or any other capex expenditures. How would the same be handled? 	<ol style="list-style-type: none"> 1. Please refer the response to query no. 19 above 2. Please refer Corrigendum 1 3. During operation & maintenance period, any capex expenditure if required need to be incurred by Concessionaire
52	Guptha Infraventures and Constructions Pvt. Ltd.	<p>RFP Page 20: Clause 3.3.11 “However, payments/receipts of less than 20 cr shall not be reckoned as payments/receipts for eligible projects.”</p> <p>We request your kind clarification on this point.</p>	<p>This is one of the conditions for a project to qualify as an Eligible Project under Category 2 for calculation of Threshold Technical Capacity</p>

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53	Guptha Infraventures and Constructions Pvt. Ltd.	<p>There are multiple projects which are being undertaken by the company, and few projects get grounded and few projects would be nearing completion. Also, in other tenders when construction turnovers are considered “till date factor” is applied to consider the value till date.</p> <p>Since the same is not a part of our tender consideration, we request that such a clause “However, payments/receipts of less than 20 cr shall not be reckoned as payments/receipts for eligible projects be omitted and actuals be considered.</p>	No change. RFP conditions remains unchanged
54	Unitiv	<p>Additional Revenue Streams:</p> <ol style="list-style-type: none"> 1. Will the concessionaire be permitted to introduce additional revenue-generating services such as food services, event hosting, or commercial facilities within the hostel premises? 2. If permitted, what are the guidelines, revenue-sharing terms, or approval processes that must be followed? 3. Can designated spaces within the hostel be leased for retail outlets, convenience stores, or co-working areas? 	No additional revenue generating services will be allowed within hostel premises

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55	Uniliv	<p>Student/Occupant Lease Agreements</p> <ol style="list-style-type: none"> 1. What will be the standard lease terms for students? Will these be predefined by IIM Udaipur, or will the concessionaire have flexibility in structuring them? 2. Will students sign agreements directly with the concessionaire, or will IIM Udaipur facilitate this process? 3. In case of mid-term withdrawal or non-payment, what recourse will the concessionaire have? 	<p>The hostel fees are typically part of the programme fee that students pay. The fees and terms are decided by IIMU for students.</p>
56	Uniliv	<p>Housekeeping, Repairs & Maintenance (R&M) Costs</p> <ol style="list-style-type: none"> 1. As the concessionaire will be responsible for housekeeping and maintenance, will IIM Udaipur provide any financial support, or will these costs be covered entirely within the pre-defined user charges? 2. Will the concessionaire have the ability to revise student rental fees periodically to account for inflation and rising maintenance costs, beyond the stipulated escalation clause? 	<ol style="list-style-type: none"> 1. No additional financial support will be provided by IIMU during O&M period 2. As per Clause 24.1 of draft Concession Agreement, the annual escalation in User Charge has been fixed at 8% once in 2 years. No modification in this escalation is allowed during Operation Period

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57	Uniliv	<p>Discounts for National Officers and Army Personnel</p> <ol style="list-style-type: none"> 1. Will IIM Udaipur mandate any special discounts on hostel fees for defense personnel, government officers, or other specific categories? 2. If so, will the cost of such concessions be borne by the institute or the concessionaire? 	No discounts are envisaged for hostel fees
58	Uniliv	<p>Security Deposits & Additional Charges</p> <ol style="list-style-type: none"> 1. Can the concessionaire collect a refundable security deposit from students to cover potential damages and liabilities? 2. If permitted, will the concessionaire have discretion over setting the deposit amount, or will there be a fixed policy determined by the institute? 3. Are there any restrictions on charging one-time onboarding fees, maintenance fees, or other service charges beyond the agreed rental structure? 	Please refer response to query no. 19 above
59	Uniliv	We kindly request an extension of the final bid submission date.	Please refer Corrigendum 1
60	Uniliv	We would appreciate it if you could provide us with the soil and topographical report of the land, complete with the necessary demarcations/land markings. Access to this	Please refer the response of query no.11 above.

Sr. No.	Organization	Query	Response
		<p>information will significantly aid us in evaluating the construction costs in a more precise and informed manner.</p>	
61	Good Host Spaces Pvt Ltd	<p><u>Eligibility Criteria</u></p> <p>We intend to place our bid on the basis that we have in the past 5 financial years, collected and appropriated revenues from Eligible Project(s) in Category 1. In this regard, please see our queries below for your reference:</p> <ol style="list-style-type: none"> 1. Technical Capacity (Clause 2.2.2): We intend to place our bid on the basis that we have collected and appropriated revenues from Eligible Projects in Category I (as set out in limb (c) of clause 2.2.2 (I)) the sum total of which is more than 200 Cr. That said, we have also paid consideration to the Universities an amount more than Rs 200 cr to acquire the Eligible Project. But we have not paid for or received payment for construction or development of Eligible Projects (as set out in limb (a) and (b) of 2.2.2(I)) the sum of which is more than Rs 200 cr. 2. Eligible Project (Clause 3.3.10): Similarly, we have in the preceding 5 financial years, collected and 	<p>Under Clause 2.2.2 (I) of the RFP, the Threshold Technical Capacity of INR 200 Cr can be a cumulative amount (multiple Eligible Projects) under either any of (a), (b), (c) or any two of (a), (b), (c) or all of (a), (b), (c).</p>

Sr. No.	Organization	Query	Response
		<p>appropriated revenues from users availing of non-discriminatory access to or use of fixed project assets (as set out in clause 3.3.10(iv)(ii)).</p> <p>In light of the above, please confirm that the management and collection of revenues from Eligible Projects would be sufficient for us to bid under the RFP and the prospective bidders are not required to compulsorily have prior experience in construction and development of projects.</p>	
62	Good Host Spaces Pvt Ltd	<p><u>Timelines</u></p> <ol style="list-style-type: none"> 1. Completion Certificate: Can Completion Certificate be obtained independently for each hostel block, with independent Commercial Operation Dates entitling the Concessionaire to collect User Charge post completion? 2. The Draft Concession Agreement defines Construction Period as 18 months from the Appointed Date, which seems to be different with Schedule Completion Date of 30 months 3. Construction Period: Can the various hostel blocks be developed before the Schedule as per Schedule E: Project Completion Schedule of the Draft Concession Agreement and start the operations? 	<ol style="list-style-type: none"> 1. Please refer Corrigendum 1 2. Please refer Clause 12.3.1, which says Schedule Completion Date is 30 months from Appointed Date 3. Please refer Corrigendum 1

Sr. No.	Organization	Query	Response
63	Good Host Spaces Pvt Ltd	<u>Definition of Real Estate</u> We wish to clarify and request if ‘commercial complex’, as referenced in Eligible Projects in Real estate, shall also include warehousing. We would like to highlight the fact that numerous banks classify ‘Warehouses’ as commercial assets.	Please refer Corrigendum 1
64	Good Host Spaces Pvt Ltd	<u>Financial Close / Equity Support</u> - 1. Disbursement of Grant: In case the Consortium decides to fund the Equity and not take any loan from the Senior Lender, Can Grant be provided proportionately with Equity 2. Is there any restriction on Consortium members on bringing funds in the SPV in the form of debentures / loan etc.	1. The disbursement of Grant is as per the “Scheme & Guidelines for Financial Support to PPPs in Infrastructure under Viability Gap Funding scheme” issued by DEA, Ministry of Finance, Gol vide Notification no. F. No. 10/3/2018-PPP dated 7 th December 2020. 2. No restriction on Consortium members on bringing funds subject to compliance with the provisions of the Concession Agreement
65	Good Host Spaces Pvt Ltd	<u>Development</u> Building Approval Authority: In addition to the approvals as specified in the Draft Concession Agreement, can you please advise on requirement of approvals such as sanction plan, occupancy certificate etc., from any government ag	Please refer response to query no. 7 above
66	Good Host Spaces Pvt Ltd	We request confirmation on not having the requirement of centralized air conditioning for Married Student Hostel unlike Regular Hostel and Executive Hostel	No centralized A/C for Married Student Hostel

Sr. No.	Organization	Query	Response
67	Good Host Spaces Pvt Ltd	Can you please elaborate on the design specifications of 'air spaces outside for events/parties/exec. ed. Activities' as specified in Schedule B: Project Facilities (iii)(q)	Spaces for hosting events and parties should be designated outside the Executive Hostel. No additional structures should be created; instead, an open area, preferably a garden, should be developed.
68	Good Host Spaces Pvt Ltd	We understand that the campus has a 33 KVA main sub-station. We wish to clarify if the sub-stations installed for the Project can be supplied power from the main sub-station. Is the existing sub-station / transformer adequate to supply power to the sub-station installed for the Project. Also who will be responsible for cabling / connecting main sub-station to the Project sub-station.	An additional Transformer needs to be installed at 33 KV substation, as the existing installed transformer rating of 1250 KVA is not sufficient to cater the additional load requirement. The supply & laying of HT cable from main substation to proposed substation & proposed substation to substation 2 along with provision of RMU will be under scope of concessionaire.
69	Good Host Spaces Pvt Ltd	Can you please specify specifications for the chiller plant	To be designed by the concessionaire based upon heat load calculation.
70	Good Host Spaces Pvt Ltd	We understand that during construction, electrical supply will be provided by the Authority on a chargeable basis. Will this also include DG back up? Also, any estimate on the cost of electricity per unit can be provided.	Raw power through AVVNL – Rs.16.75/- kwh as amended from time to time DG back – Rs. 30/ Kwh (DG back up will be provided to the concessionaire subject to availability). The cable & allied safety breakers and submeter shall be brought by the Concessionaire.
71	Good Host Spaces Pvt Ltd	Existing lifts are 8-passenger and 13-passenger capacity, whereas DCA mentions 16-passenger lifts. Considering the building capacity we recommend that smaller size lifts maybe more appropriate as 16-passenger lift	Lift for Student Hostel (Regular) and Married Student Hostel can be considered for 13 passenger capacity.

Sr. No.	Organization	Query	Response
		may be oversized. Similarly, we recommend two smaller lifts of 10 passengers each instead of one 16-passenger lift for married and executive student accommodations	However, for the Executive Hostel the concessionaire must design the utilities as per the occupancy and statutory requirements.
72	Good Host Spaces Pvt Ltd	As per GRIHA guidelines, a biogas plant is required for mess services. Should this be included within the project scope?	Please refer to Schedule C- B. General requirements of the Draft Concession agreement.
73	Good Host Spaces Pvt Ltd	We would make a humble request if the last date of the Bid Due Date (7 th Mar 2025) can be delayed by 45 days considering the amount of work involved	Please refer Corrigendum 1

RFP for selection of private partner to develop infrastructure at IIM Udaipur on PPP mode

Corrigendum 1

No. IIMU/PPP/24-25/01

Date: 28.02.2025

RFP

Sr. No.	Clause reference	Existing clause	Amendment
1	Clause 3.3.8 of the RFP	<p>Subject to the provisions of Clause Error! Reference source not found., the following categories of experience would qualify as Technical Capacity and eligible experience (the "Eligible Experience") in relation to eligible projects as stipulated in Clauses Error! Reference source not found. and Error! Reference source not found. (the "Eligible Projects"): </p> <p>a. Category 1: Project experience on Eligible Projects in Real estate sector that qualify under Clause 3.2.3</p> <p>b. Category 2: Construction experience on Eligible Projects in Real estate sector that qualify under Clause 3.2.4</p> <p>For the purpose of this RFP:</p> <p>Real estate sector would be deemed to include housing, hotel and commercial complex.</p>	<p>The "Real Estate" sector has been replaced with "infrastructure subsectors listed under s no. 1 (Transport & Logistics) and s. no. 5 (Social & Commercial Infrastructure) of the Harmonized Master List of Infrastructure issued by DEA vide Gazette notification F. No. 13/1/2017-INF dated 11th October 2022"</p>
2	Clause 2.2.2 (II): Financial Capacity of RFP	<p>The Bidders or in case of Consortium any one member must have minimum Net worth of INR. 25 crores (Rupees Twenty Five Crore) in last financial years prior to Bid Due Date</p>	<p>Clause 2.2.2 (II):</p> <p>1. The Bidders or in case of Consortium any one member must have minimum Net worth of INR. 25 crores (Rupees Twenty Five Crore) in last financial years prior to Bid Due Date</p> <p align="center">OR</p>

Sr. No.	Clause reference	Existing clause	Amendment
			<p>2. In case the Bidder is an AIF or Foreign Investment Fund: The Bidder shall have a minimum ACI at the close of the preceding financial year of Rs. 25 Crores (Rupees Twenty Five Crore).¹</p>
3	Clause 2.2.2 Note (a) of RFP	A Bidder may use the credentials of its Associates for the purpose of qualification under this RFP, provided however that the Bidder shall ensure that such Associate of Bidder continues to remain its Associate throughout the Concession Period. In computing the financial and technical capability of the Bidder/Consortium, the Financial and Technical Capacity of their respective Associates shall also be considered.	<p>A Bidder may use the credentials of its Associates for the purpose of qualification under this RFP, provided however that the Bidder shall ensure that such Associate of Bidder continues to remain its Associate throughout the Concession Period. In computing the financial and technical capability of the Bidder/Consortium, the Financial and Technical Capacity of their respective Associates shall also be considered.</p> <p>In case the Associate of an AIF or Foreign Investment Fund is not an AIF or Foreign Investment Fund, then such Bidder is eligible to claim the Financial Capacity of such Affiliate as set out in Clause 2.2.2 (II) (1).</p>
4	Clause 2.2.2 Note (c) (ii) of RFP	Certificate(s) from its statutory auditors specifying the net worth of the Bidder, as at the close of the preceding financial year, and also specifying that the methodology adopted for calculating such net worth conforms to the provisions of this Clause. For the purposes of this RFP, net worth (the "Net Worth") shall mean the sum of subscribed and paid-up equity and reserves from which shall be deducted the sum of revaluation reserves, miscellaneous expenditure not written off and reserves not available for distribution to equity shareholders	<p>Certificate(s) from its statutory auditors specifying the net worth of the Bidder, as at the close of the preceding financial year, and also specifying that the methodology adopted for calculating such net worth conforms to the provisions of this Clause. For the purposes of this RFP, net worth (the "Net Worth") shall mean the sum of subscribed and paid-up equity and reserves from which shall be deducted the sum of revaluation reserves, miscellaneous expenditure not written off and reserves not available for distribution to equity shareholders</p> <p>In case of an AIF or Foreign Investment Fund using ACI, ACI would be considered as per the certificate issued by statutory auditor not older than 3 (three) months prior to the Bid Due Date</p>

¹ In case a Bidder has issued any fresh equity capital during the current financial year, the same shall be permitted to be added to the Bidder's Net Worth subject to the statutory auditor of the Bidder certifying to this effect. In case a Bidder has received any fresh capital commitment available for the immediate deployment during the current financial year, the same shall be permitted to be added to the Bidder's ACI subject to the statutory auditor of the Bidder certifying to this effect.

Sr. No.	Clause reference	Existing clause	Amendment
5	Clause 2.2.2 Notes of RFP		<p>Following additional note is added under Note (d):</p> <p>d) An AIF or Foreign Investment Fund may qualify on the basis of minimum investible funds (i.e. immediately available funds for investment and callable capital) subject to the limits of investment in a single investee entity (in the relevant jurisdiction for a Foreign Investment Fund, or the maximum permissible investment limit for an AIF) (as per the Securities and Exchange Board of India (Alternative Investment Funds) Regulations, 2012, as may be amended from time to time), as applicable ("ACI").</p>
6	Appendix VIII of RFP – Financial Capacity		<p>Following additional instruction is added under S no.11</p> <p>"11. In case of ACI, the Bidder shall provide certificate (specifying methodology adopted) issued by statutory auditor not older than 3 (three) months prior to the Bid Due Date"</p>
7	Glossary		<p>Following two terms are added under Glossary:</p> <p>ACI: as defined under Clause 2.2.2 (d) of RFP</p> <p>AIF: means an alternative investment fund as defined in Regulation 2(1)(b) of Securities and Exchange Board of India (Alternative Investment Funds) Regulations, 2012, as may be amended from time to time;</p>
8	Clause 1.3 of RFP	<p>Bid due date: 7th March 2025, 16:00 hrs Opening of Bids: 7th March 2025, 16:30 hrs</p>	<p>Bid due date: 24th March 2025, 16:00 hrs Opening of Bids: 24th March 2025, 16:30 hrs</p>

Draft Concession Agreement

Sr. No.	Clause reference	Existing clause	Amendment
1	Schedule E - S no. 2, 3 and 4 of Draft Concession Agreement	Project Milestone 1, Project Milestone 2 and Project Milestone 3	<p>The Project Milestones are amended as below:</p> <p>2. Project Milestone-1:</p> <p>2.1. Project Milestone -1: Completion of construction of Executive Hostel shall occur on the date falling on the date of expiry of 18 (eighteen) months from the Appointed Date (the "Project Milestone-1").</p> <p>2.2 Prior to the occurrence of Project Milestone – 1, the Concessionaire shall have completed construction of Executive Hostel with all facilities as specified under Schedule B</p> <p>3. Project Milestone 2</p> <p>3.1 Completion of construction of 100 rooms of Student Hostel (Regular) and 100% of Married Student Hostel with all facilities as defined under Schedule B shall occur on the date falling on the date of expiry of 24 (twenty four) months from the Appointed Date, but not before 1st June 2027. For the avoidance of doubt the completion date of Project Milestone 2 shall be the date of expiry of 24 (twenty four) months from the Appointed Date or 1st June 2027, whichever is later (the "Project Milestone-2").</p> <p>3.2 Prior to the occurrence of Project Milestone –2, the Concessionaire shall have completed construction of 100 rooms of Student Hostel (Regular) and 100% of Married Student Hostel with all facilities as defined under Schedule B</p> <p>4. Project Milestone 3</p> <p>4.1. Project Milestone-3: Completion of construction of additional 50 rooms of Student Hostel (Regular) shall occur on the date falling on the date of expiry of 30 (thirty) months from the Appointed Date, but not before 1st June 2028. For the avoidance of doubt the completion date of Project Milestone 3 shall be the</p>

Sr. No.	Clause reference	Existing clause	Amendment
			<p>date of expiry of 30 (thirty) months from the Appointed Date or 1st June 2028, whichever is later (the "Project Milestone-3").</p> <p>4.2 Prior to the occurrence of Project Milestone – 3, the Concessionaire shall have completed construction of Student Hostel (Regular) with all facilities as specified under Schedule B</p>
2	Clause 15.1 of Draft Concession Agreement	Commercial Operation Date	<p>Following additional clause will be added as 15.1.3:</p> <p>"The Concessionaire shall be allowed to commence commercial operation of Project Milestone and entitled to collect User Charge of the respective Project Milestone in accordance with the provisions of this Agreement, when the Completion Certificate is issued for the said Project Milestone as per the provisions of Article 14 subject to the followings:</p> <ul style="list-style-type: none"> (a) The commercial operation of Project Milestone 2 should not start before 1st June 2027. In case Concessionaire commences commercial operation of the Project Milestone 2 before 1st June 2027, the User Charge of Project Milestone 3 shall only be paid from 1st June 2027. (b) The Concessionaire shall commence commercial operation of Project Milestone 3 not before 1st June 2028. In case Concessionaire commences commercial operation of the Project Milestone 3 before 1st June 2028, the User Charge of Project Milestone 3 shall only be paid from 1st June 2028."
3	Clause 14.1 of draft Concession Agreement	Tests	The word "Project" shall be read as "Project / Project Milestone"
4	Clause 14.2 of draft Concession Agreement	Completion Certificate	The word "Development Works" shall be read as "Development Works / Project Milestone".

Sr. No.	Clause reference	Existing clause	Amendment
5	Clause 24.1.2 of draft Concession Agreement	The annual User Charge shall be payable in three installments in each year at the beginning of June, September and January in each year within 10 days of raising invoice by the Concessionaire	<p>The annual User Charge for Student Hostel (Regular) shall be payable in three equal installments at the beginning of June, September and January in each year within 15 working days of raising invoice by the Concessionaire.</p> <p>The annual User Charge for Executive Hostel and Married Student Hostel shall be payable on monthly basis. The amount due in a month shall be payable at the beginning of next month within 15 working days of raising of invoice.</p>
6	Clause 24.1.6 of draft Concession Agreement	<p>In case, at the end of any Accounting Year during Operation Period, the average occupancy of Student Hostel (Regular) and average occupancy of Married Student Hostel falls below the 100% of the Designed Capacity of Student Hostel (Regular) and 100% of the Designed Capacity of Married Student Hostel respectively and/or the average occupancy of Executive Hostel falls below the 90% of the Designed Capacity of Executive Hostel, the Authority shall make a payment equivalent to “deficit number of students / occupied rooms (for Executive Hostel) to reach 100% occupancy or 90% occupancy as the case may be X User charge per student p.a.” (the “Compensation towards Occupancy Shortfall”). The estimated average occupancy at the end of Accounting Year as estimated by Authority shall be considered for the purpose of estimating Compensation towards Occupancy Shortfall. The Compensation towards Occupancy Shortfall if applicable, shall be paid by Authority to the Concessionaire within 30 days of end of Accounting Year.</p>	<p><u>Student Hostel (Regular) and Married Student Hostel</u></p> <p>In case the total occupancy during the period of payment corresponding to any installment of User Charge for Student Hostel (Regular), falls below 100% of the Designated Capacity of Student Hostel (Regular), the Authority shall make a payment equivalent to deficit number of students (“Compensation towards Occupancy Shortfall for Student Hostel”). This Compensation towards Occupancy Shortfall for Student Hostel shall be payable at the time of next installment of User Charge for Student Hostel within 15 working days of raising invoice by Concessionaire. The Compensation towards Occupancy Shortfall for Student Hostel for the period of January to March will be paid at the end of March within 15 working days of raising invoice by Concessionaire. The Concessionaire shall submit the invoice for “Compensation towards Occupancy Shortfall for Student Hostel” to the Authority.</p> <p><i>Illustration: In case the total occupancy of Student Hostel (Regular) from June to August of any year is 90% of the Designated Capacity, the deficit amount to reach 100% of occupancy guarantee will be paid by Authority at the beginning of September within 15 working days of raising invoice. Similarly, any occupancy shortfall during September to December will be paid at the beginning of January.</i></p>

Sr. No.	Clause reference	Existing clause	Amendment
			<p><u>Married Student Hostel</u></p> <p>In case at the end of any quarter of any Accounting Year during the Operation Period, the total quarterly occupancy of Married Student Hostel falls below 100% of the Designated Capacity of the Married Student Hostel, the Authority shall make a payment equivalent to deficit number of students to reach 100% occupancy “Compensation towards Occupancy Shortfall for Married Student Hostel”. The Compensation towards Occupancy Shortfall for Married Student Hostel shall be paid along with next monthly installment of User Charge for Married Student Hostel after the end of quarter within 15 working days of raising invoice by Concessionaire. The Concessionaire shall submit the invoice for “Compensation towards Occupancy Shortfall for Married Student Hostel” to the Authority at the end of each quarter.</p> <p><u>Executive Hostel</u></p> <p>In case at the end of any quarter of any Accounting Year during the Operation Period, the average quarterly occupancy of Executive Hostel falls below 90% of the Designated Capacity of the Executive Hostel, the Authority shall make a payment equivalent to deficit number of occupied rooms to reach 90% occupancy “Compensation towards Occupancy Shortfall for Executive Hostel”. The Compensation towards Occupancy Shortfall for Executive Hostel shall be paid along with next monthly installment of User Charge for Executive Hostel after the end of quarter within 15 working days of raising invoice by Concessionaire. The Concessionaire shall submit the invoice for “Compensation towards Occupancy Shortfall for Executive Hostel” to the Authority at the end of each quarter.</p>
7	Article 17 of draft Concession Agreement		<p>Following additional Clause will be added as Clause 17.13:</p> <p>In case any vandalism or intentional damage of any part of Project Facilities by Students of Authority, the Concessionaire shall be compensated by Authority for such damage. <i>Deciding such instance</i> as “vandalism/intentional damage of Project Facilities” and deciding the compensation amount payable to Concessionaire is on the sole discretion of Project Monitoring</p>

Sr. No.	Clause reference	Existing clause	Amendment
			Committee and shall be treated as final and binding on Concessionaire.
8	Clause 17.1.1 (f), sub-clause (d) of Schedule C of draft Concession Agreement	17.1.1 (f): Undertaking replacement of components and parts as required to ensure compliance with the Maintenance Requirements during the Concession Period	Undertaking replacement of components and parts as required to ensure compliance with the Maintenance Requirements during the Concession Period. The Concessionaire shall replace the kitchen equipment listed under sub-clause (d) of Schedule C of Concession Period once in 6 (six) years. In case any kitchen equipment listed under sub-clause (d) of Schedule C of Concession Agreement require replacement prior to 6 (six) years, the same shall be replaced by Authority
9	Schedule C: Minimum Specifications & Standards d) Equipment / Devices to be installed in the kitchen of Executive Hostel and Student Hostel (Regular)	Note: The above are the minimum requirements. The same may be reviewed and additions / modifications may be done upon mutually agreed terms between Concessionaire & Authority.	Note: a) The above equipment shall preferably be gas based, in such condition where no gas based equipment are available in market only then electrical based equipment shall be procured. b) The above are the minimum requirements. The same may be reviewed and additions / modifications may be done upon mutually agreed terms between Concessionaire & Authority.

APPENDIX - 6 (BH-13)
Calculation of Allowable Bearing Pressure
(As per Clause No. 6, IS : 12070, 1987)

Safe Bearing Pressure $q_{safe} = K_{sp} q_{u\ core}$

$q_{u\ core}$ = Average Uniaxial compressive strength of rock cores

K_{sp} = Empirical coefficient depending on joint spacing & including a Factor of Safety of 3
 $= (3 + S / B_f) / (10 * \text{SQRT} (1 + 300 \delta / S))$

Where

S = Spacing of discontinuities in cm = 30

B_f = Footing width in cm = 500

δ = Thickness of discontinuities in cm = 0.6

$K_{sp} = 0.12$

Sr No	Location	Width of Foundation	Depth of Foundation m	$q_{u\ core}$ kg / cm ²	K_{sp}	q_{safe} t / m ²
1	Proposed structure of Indian Institute of Management at Udaipur	2 mt	Minimum 1.5 m from EGL or atleast 0.30 m into rock, whichever is more	79.7	0.12	95.6
2		3 mt		79.7	0.12	95.6
3		4 mt		79.7	0.12	95.6
4		5 mt		79.7	0.12	95.6

Allowances to be made to determine allowable bearing pressure

Sr No	Condition	Allowance	Remarks	(Clause No. 9, IS : 12070, 1987)
1	Submerged Condition Under Water Table	0.90	No water table found	
2	Cavities / Close Joint Spacing	0.50	Core Recovery less than 70 %	
3	Slope	0.50	Fair	

(Considering the Fair orientation of continuous joints in the slope)

Hence making all allowances to the safe bearing pressure

The allowable Bearing Pressure recommended

Sr No	Location	Width of Foundation	Depth of Foundation m	q_{safe} t / m ²	Allowance	Allowable Bearing Pressure t / m ²
1	Proposed structure of Indian Institute of Management at Udaipur	2 mt	Minimum 1.5 m from EGL or atleast 0.30 m into rock, whichever is more	95.6	0.23	21
2		3 mt		95.6	0.23	21
3		4 mt		95.6	0.23	21
4		5 mt		95.6	0.23	21

Notes :-

- 1) The safe bearing capacity recommended is 21 ton per sq mt at Minimum 1.5 m from EGL or atleast 0.30 m into rock, whichever is more.
- 2) Care shall be taken to remove loosened pieces of rock from the foundation after blasting or breaking.
- 3) Washing and air jetting shall be done so that the foundation rests on practically undisturbed rock.
- 4) A layer of richer plain concrete of Compressive strength more than the UCS of rock shall be laid as leveling coarse, under RCC foundation.

For KCT Consultancy Services,

(K.K.Thaker)

Project : IIM

Bore Hole No. : 13

Location : Structure

Depth of Termination : 9.50 m

Depth of Water Table : Not encountered upto depth of investigation

Date of commencement: 2/26/2013

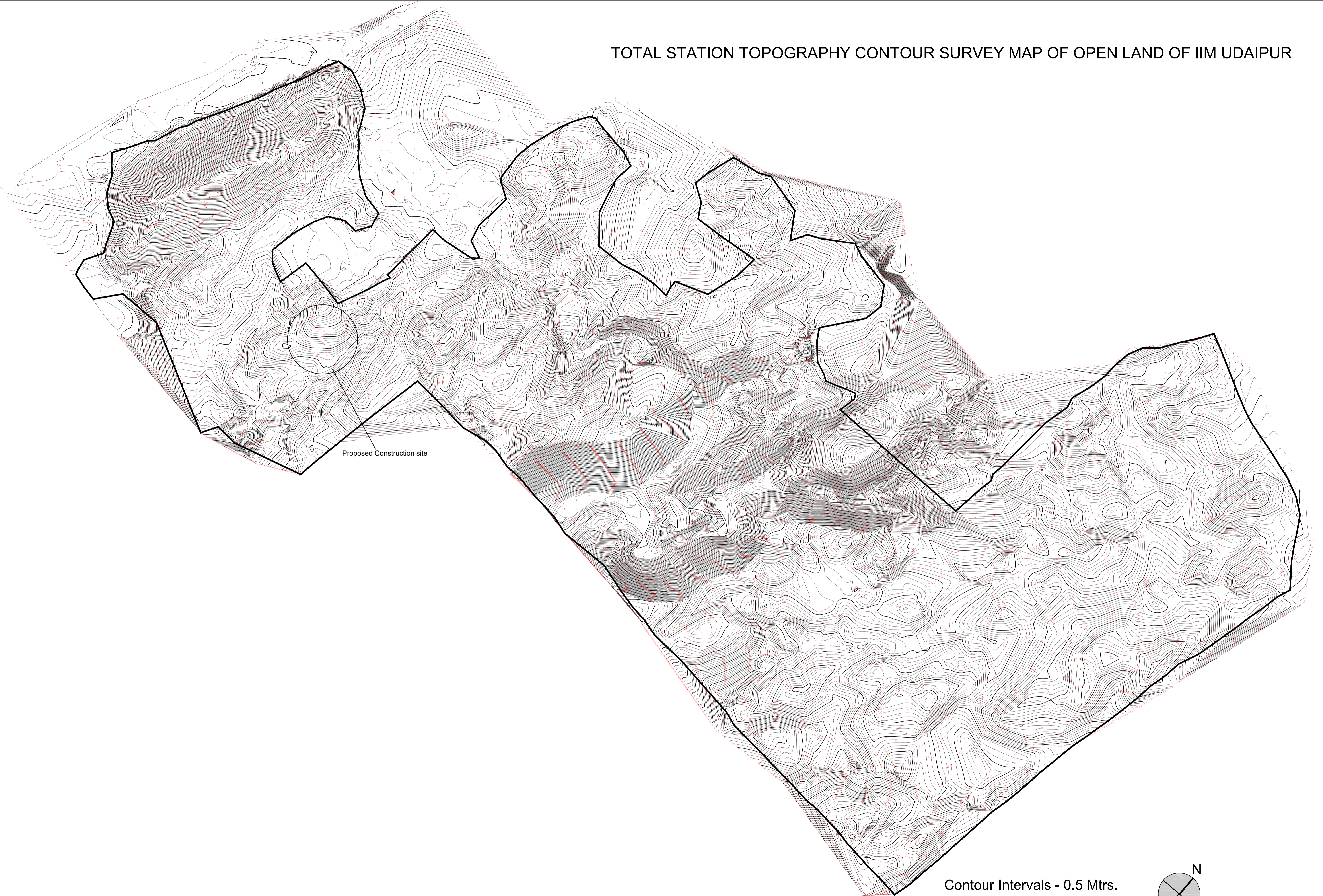
Date of Completion: 2/27/2013

Diameter of Bore : 150 mm

BORE LOG DATA SHEET

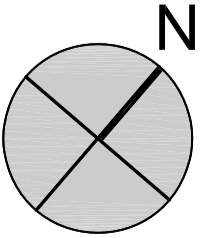
Method of Boring	Depth m	Notation	Soil Description	Depth of Sample m	Drill Run		Type of Sample	SPT N Value/Penetration of S.S.S				Core Recovery (%)	RQD (%)	Remarks	
					From	To		N ₁	N ₂	N ₃	N				
					m	m									
Hydraulic machine	0.00		Greyish and reddish, fine to very fine grained, highly weathered and moderately weak and completely fractured rock 0.00 to 1.50m	0.00	0.00	0.85	DS	-	-	-	-	-	-		
	0.50			0.85	1.50	DS	-	-	-	-	-	-			
	1.00		Greyish, fine to very fine grained, highly weathered and moderately weak interlocking, cobbles to boulders size fragments of rock firm and compact in place 1.50 to 3.00m	1.50	1.50	3.00	DS	-	-	-	-	-	-	-	
	1.50														
	2.00		Greyish and brownish, fine to very fine grained, highly weathered and moderately weak thinly laminated rock 3.00 to 7.50m	3.00	3.00	4.50	CORE	-	-	-	-	12.7	6.7		
	2.50														
	3.00														
	3.50														
	4.00														
	4.50														
	5.00														
	5.50														
	6.00														
	6.50														
	7.00														
7.50	7.50	9.00	CORE	-	-	-	-	10.7	6.7						
8.00	Greyish and brownish, fine to very fine grained, highly weathered and moderately weak thinly laminated rock with infilled decomposed material, firm and compact in place	7.50	7.50	9.00	CORE	-	-	-	-	14.6	10.0				
8.50															
9.00															
9.50															
7.50 to 9.50 m															

TOTAL STATION TOPOGRAPHY CONTOUR SURVEY MAP OF OPEN LAND OF IIM UDAIPUR



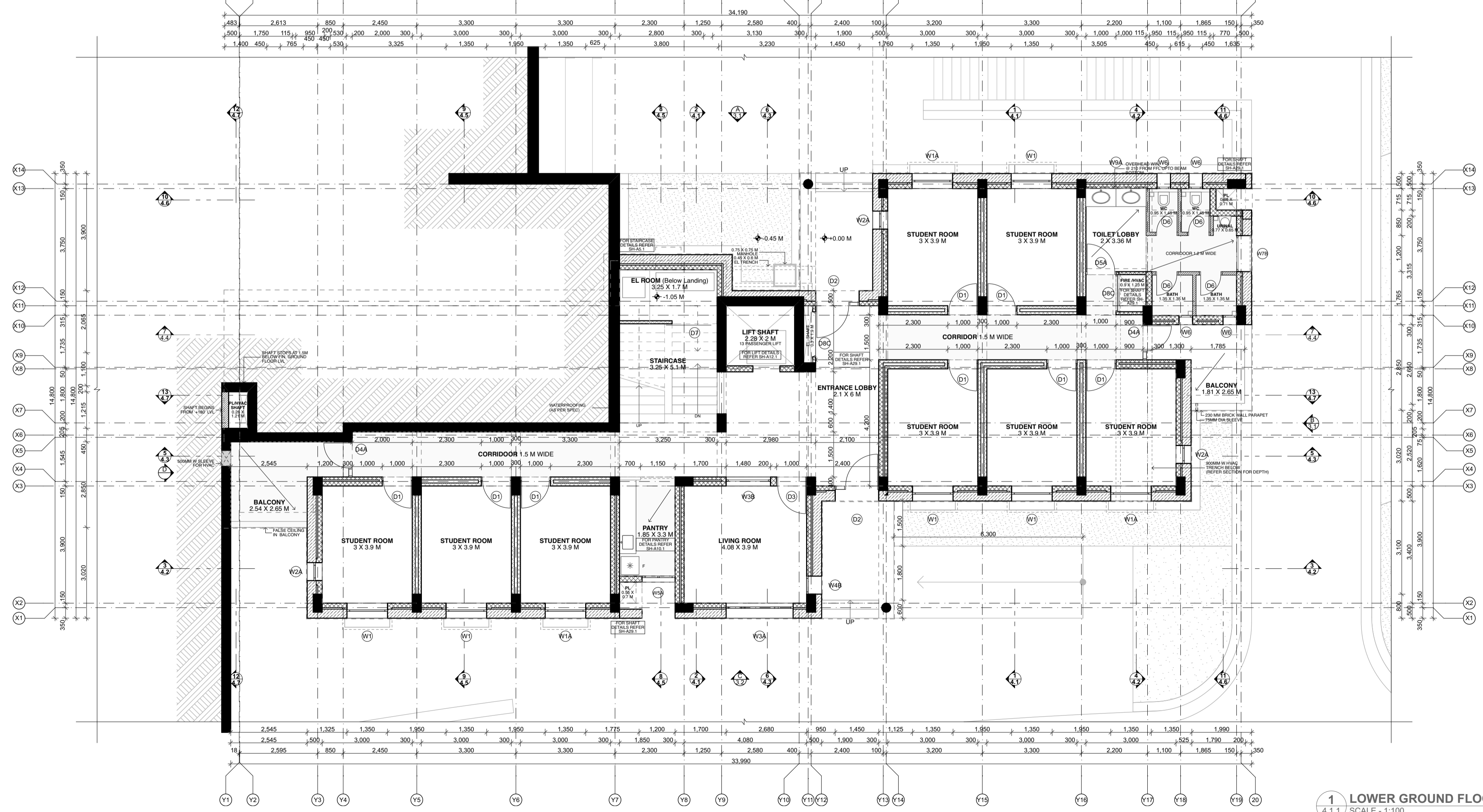
Proposed Construction site

Contour Intervals - 0.5 Mtrs.
Scale - 1:3000





2 GROUND FLOOR PLAN
4.1.2 SCALE: 1:100



1 LOWER GROUND FLOOR PLAN
4.1.1 SCALE: 1:100

- NOTES**
1. ALL DIMENSIONS SHALL BE CHECKED AND CO-RELATED WITH THE STRUCTURAL DRAWINGS AND ANY AMBIGUITY SHALL BE IMMEDIATELY BROUGHT TO THE NOTICE OF THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK.
 2. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS AND OTHERWISE SPECIFIED.
 3. ALL LEVELS ARE FINISHED LEVELS.
 4. ALL MARGINS, CLEARANCES ETC. REQUIRED AS PER BYE-LAWS SHOULD BE CHECKED AND PROVIDED BY THE CONTRACTOR AND ANY DISCREPANCIES FOUND SHOULD BE IMMEDIATELY BROUGHT TO THE NOTICE OF ARCHITECT BEFORE COMMENCEMENT OF WORK.
 5. FOR DETAILS OF ALL CUTOUTS IN SLABS AND BEAMS REFER SERVICES CONSULTANTS DRAWINGS.
 6. FOR STAIRCASE DETAILS REFER DRAWING NO. 5.1
 7. FOR TOILET DETAILS REFER DRAWING NO. 6.1
 8. FOR DOOR DETAILS REFER DRWG NO. 8.1
 9. FOR WINDOW DETAILS REFER DRWG NO. 9.1
 10. FOR KITCHEN - PANTRY DETAILS REFER DRWG NO. 10.1
 11. FOR MISCELLANEOUS DETAILS REFER DRAWING NO. 29.1
 12. FOR VERANDAH DETAILS REFER DRAWING NO. 31.1

LEGEND

- STONE
- MASONARY
- RCC
- AAC BLOCK
- BRICK

DOOR SCHEDULE

NO.	WIDTH	HEIGHT	SILL	LINTEL	LOCATION	FRAME	SHUTTER	INFILL
D1	1000	2100	0	2100	Student Room	Granite	UPVC	Grass
D2	1450	2100	0	2100	Man Entry	Granite	UPVC	Grass
D3	1000	2100	0	2100	Living Room	Granite	UPVC	Grass
D4A	1170	2100	0	2100	Balcony	Granite	UPVC	Grass
D4B	1170	2100	0	2100	Balcony	Granite	UPVC	Grass
D4C	1000	2100	0	2100	Toilet	Granite	UPVC	Grass
D5	780	2100	0	2100	Toilet	Granite	UPVC	Grass
D6	1500	2300	0	2100	EL Room	Granite	UPVC	Grass
D7A	1000	1200	900	2100	Corridor	Granite	UPVC	Grass
D7B	2000	1200	900	2100	Corridor	Granite	UPVC	Grass
D8	1200	1200	900	2100	Corridor	Granite	UPVC	Grass
D9	800	1200	900	2100	Corridor	Granite	UPVC	Grass
D10	1000	2100	0	2100	Toilet	Granite	UPVC	Grass
D11	800	2100	0	2100	Janitor	Granite	UPVC	Grass
D12	1000	2100	150	2250	Terrace	Granite	UPVC	Grass
D13A	1000	2100	100	2200	Corridor	Granite	UPVC	Grass
D13B	1000	1800	100	1900	Corridor	Granite	UPVC	Grass
D14	800	2100	0	2100	Storage Room	Granite	UPVC	Grass
D15	1000	2100	0	2100	EL Room	Granite	UPVC	Grass
D16	1000	2100	0	2100	Private Balcony	Granite	UPVC	Grass

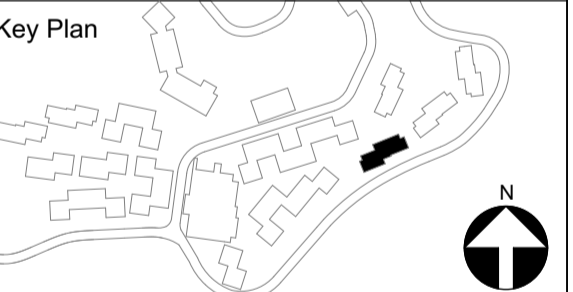
WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	SILL	LINTEL	LOCATION	FRAME	SHUTTER	INFILL
W1	1500	1200	900	2100	Student Room	Granite	UPVC	Grass
W1A	1500	1200	900	2100	Student Room	Granite	UPVC	Grass
W2A	80	80	1500	2100	Student Room	Granite	UPVC	Grass
W2B	47	80	1500	2100	Student Room	Granite	UPVC	Grass
W3A	2200	1800	300	2100	Living Room	Granite	UPVC	Grass
W3B	1400	1800	300	2100	Living Room	Granite	UPVC	Grass
W4C	2200	1800	300	2100	Living Room	Granite	UPVC	Grass
W4A	600	1800	300	2100	Balcony	Granite	UPVC	Grass
W4B	800	1800	300	2100	Living Room	Granite	UPVC	Grass
W5A	1100	1200	900	2100	Pantry	Granite	UPVC	Grass
W5B	1000	1200	900	2100	Corridor	Granite	UPVC	Grass
W6	600	600	1500	2100	Toilet	Granite	UPVC	Grass
W7A	1100	1200	900	2100	Corridor	Granite	UPVC	Grass
W7B	1000	1200	900	2100	Toilet	Granite	UPVC	Grass
W8	600	600	1500	2100	Toilet	Granite	UPVC	Grass

GOOD FOR CONSTRUCTION

No.	Date.	Remarks.

Date	Prints	Issued to	Date	Prints	Issued to



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Project
DEVELOPMENT OF PERMANENT CAMPUS OF IIM UDAIPUR

Title
FLOOR PLANS CLUSTER 4

STUDENT HOSTELS
Dealt : Manojna Polisetty Drawing No. IMU(2)-SH-4.A2.1
Checked : Vijay Patel
Scale : 1:100
Date : 05/07/18

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